

**REQUEST FOR PROPOSALS
FOR
CONSTRUCTION SERVICES
Fire Station 1 Addition
141 Henry Street**

The City of Crossville is requesting proposals for Construction Services for the design and construction of an Addition to Fire Station 1 at 141 Henry Street in Crossville, TN. Proposals will be received by the City of Crossville at 392 North Main St., Crossville, Tn 38555 at the office of City Clerk until 2:00 o'clock P.M., C.D.T., April 23, 2026. All proposals should be properly marked **CITY CLERK/RFP** and **“RFP – Construction Services –Fire Station 1 Addition”** on the outside of a sealed envelope. **No electronic submissions accepted.**

Scope of Services

The proposed project includes the design and construction of a pre-engineered metal building with an Apparatus Bay with Equipment Room being approximately 58 feet by 60 feet, a Truck Bay being approximately 58 feet by 33.5 feet and an Interconnecting Hallway being approximately 10 feet by 52.5 feet that connects the existing building with the addition. The new facility shall meet or exceed the local and the state building codes. See attached Minimum Requirements and Concept Plans for more information.

Pre-Proposal Meeting

A **non-mandatory Pre-Proposal meeting** will be held in **Room 424 at 292 North Main Street, Crossville, Tn. 38855** on **Thursday, April 2, 2026 at 1:00 pm CDT** to discuss the project and then visit the site. This meeting is not mandatory. It is highly recommended that interested parties attend this meeting.

Services to be included are as follows:

- The Contractor shall provide all design services including the architectural and engineering services required to obtain a building permit including the architectural, structural, mechanical, electrical, and plumbing plans. The city to provide site drawings for this project.
- The Contractor to construct this project based upon the design plans approved by the city.
- A schedule for the project based upon the scope of services to be provided if awarded the RFP.
- The Contractor to provide Shop Drawing to the city for review and approval, and product information used and product warranty information to the city.
- Proposal to include a lump sum price based upon the scope of services and minimum requirements.

Each proposal should include the following information for evaluation

1. Specialized experience or technical expertise of the firm in connection with the type of services to be provided.
2. Past record of performance on contracts with the community and other clients including quality of work, timeliness, and cost control.
3. Familiarity with the type of problems applicable to the project.
4. Familiarity with local conditions.
5. List of at least (3) similar projects constructed in TN in the last ten years
6. The contractor shall meet the minimum requirements in the attached RFP.
7. Lump Sum Price based upon the scope of services and the minimum requirements.

CITY OF CROSSVILLE **REQUEST FOR PROPOSALS**

IMPORTANT: Read Instructions Carefully

RETURN PROPOSAL TO:

City Clerk, Baylee Rhea
City of Crossville
392 North Main Street
Crossville, TN 38555

Date Issued: March 12, 2026

Proposal to be Opened: **April 23, 2026 @ 2:00 pm CDT**

Prices to be F.O.B. – City of Crossville
141 Henry Street
Crossville, TN 38555

NOTICE TO CONTRACTOR

Please enter the LUM SUM BASE PRICE for your proposal listed herein specified for the design and construction of an Addition to Fire Station 1. Be sure the specifications and/or minimum requirements are followed. Any deviation from the specifications and/or minimum requirements shall be noted in an attach letter containing a description of the deviation with any additional comments, and it will be considered as part of your proposal. Provide a list of allowances if used other than the ones specified in the minimum requirements.

We reserve the right to accept or reject any or all proposals.

For further information, contact Don Cole at 931-456-2014, email: don.cole@crossvilletn.gov.

Contractor's Name: _____

Contractor's Address: _____

Proposer acknowledges receipt of the following addendum:

Lump Sum Base Bid including all material and labor and allowances in the minimum requirements:

_____ Dollars _____ Cents
(\$ _____)

Additive Alternative 1

Add Radiant Floor Heat system with boiler, Mechanical Room, and accessories including the material and labor

Radiant Floor System - Add 2" continuous Board insulation in bay floor and extend down to bottom of turn down slab, 15 mil vapor barrier, 6 x 6 Mesh / W2.9x W2.9 WWF for securing radiant floor tubing, 2" mud slab over radiant floor tubing, concrete slab floor thickness minimum 6 inches (4000 psi) concrete with reinforcement 6 x 6 Mesh / W2.9x W2.9 WWF and 4" crushed stone

Radiant flooring system, Rehau or approved equal Radiant Floor Heating System with manifold, radiant floor piping, and accessories. Natural Gas Boiler for radiant floor system being Lochinvar or approved equal.

Add Mechanical Room.

Delete Natural Gas Heaters from Base Bid.

Additional amount for Alternative 1

_____ Dollars _____ Cents
(\$ _____)

Lump Sum Base Bid Plus Additive Alternative 1:

_____ Dollars _____ Cents
(\$ _____)

Proposer must agree to commence work on or before a date to be specified in a written "Notice to Proceed" of the Owner and to fully complete the project within **300** consecutive calendar days thereafter after the approval of the shop drawings of the Pre-engineered Metal Building. Proposer must agree also to pay as liquidated damages, the sum of **\$1,000.00** for each consecutive calendar days

The above lump sum price shall include all labor, materials, bailing, shoring, removal, overhead, profit, insurance, etc., to cover the finished work of the several kinds called for.

Proposer understands that the Owner reserves the right to reject any or all proposals and to waive any informalities in the Request for Proposals.

The proposer agrees that this proposal shall be good and may not be withdrawn for a period of 60 days after the scheduled closing time for receiving proposals.

Respectfully submitted:

SIGNED BY: _____

Print name _____

FIRM: _____

ADDRESS: _____

City _____ State _____ Zip _____

Date: _____ Telephone: _____

Please attach your Proposal to this form include the information required for evaluation of your proposal and any other information that the proposer deems relative to this project.

IMPORTANT INSTRUCTIONS TO CONTRACTORS

1. Each proposal should be in a **SEPARATE ENVELOPE** and have typed/noted on the envelope the **CITY CLERK/RFP, "RFP – Construction Services – Addition to Fire Station 1", OPENING DATE, AND TIME. No electronic submissions.**
2. All proposers must be licensed General Contractors as required by the Contractor's Licensing Act of 1994 of the General Assembly of the State of Tennessee, and qualified for the type of construction being proposal upon. Each proposer shall write on the outside of the envelope containing its Request for Proposal: 1) its Contractor's license number; 2) that part of the classification applying to the proposal. If this is not done, the proposal will not be opened.
3. Specifications and/or Minimum Requirements used in this proposal are intended to be open and non-restrictive. Reference to brand names, catalogs, etc., is to establish minimum standards of quality and does not preclude BUYER'S consideration of proposals on comparable quality.
4. All bidders to register with City of Crossville – Engineering & Planning Department at 392 N. Main St., Crossville, Tn 38555 to ensure all proposers receive any and all information concerning the RFP. Please contact City of Crossville, Engineering Department, via email (don.cole@crossvilletn.gov) to register for this project and to receive a .pdf copy of the RFP. Emails must include the company name, address, contact person, and contact phone number. There is no charge for the .pdf, but bidders are responsible for printing/copying of project documents. All Bidders to register with City of Crossville – Engineering & Planning Department by **April 16, 2026.**
5. Every request for such interpretation should be in writing addressed to
City of Crossville – Engineering & Planning Department at 392 N. Main St., Crossville, Tn 38555 or email: don.cole@crossvilletn.gov
and to be given consideration must be received at least seven days prior to the date fixed for the opening of bids being **April 16, 2026**. Any and all such interpretations and any supplemental instructions will be in the form of written addenda to the RFP which, if issued, will be mailed by certified mail with return receipt requested or emailed to all prospective bidders (at the respective addresses furnished for such purposes), not later than three working days prior to the date fixed for the opening of bids being **Monday, April 20, 2026**. Failure of any bidder to receive any such addendum or interpretation shall not relieve such bidder from any obligation under his/her bid as submitted. All addenda so issued shall become part of the RFP.
6. Unless otherwise indicated, proposals should be submitted indicating a lump sum price for all products and services include in your proposal.
7. The City of Crossville, Engineering Department, will review the proposals and make a recommendation to the City Council for approval based upon the evaluation criteria.
8. The Contractor must provide Certificates of Insurance for Liability and Workers Compensation if awarded the proposal.

9. The Contractor must provide a performance and payment bond for the entirety of the project if awarded the proposal.
10. The Contractor to provide a list of three or more similar projects in the past ten years on the Contractors Experience Form attached.
11. The Contractor to attend Construction Progress Meetings during the project with the owner. The Contractor and the City shall agree upon a meeting time and schedule for these meetings. Meetings may be monthly or as needed during the project.
12. Contractor to provide monthly pay request on AIA G702 form or approved equal with a Schedule of Values mutually agreed upon by the contractor and the city.
13. To insure the proper performance of this contract, the Owner shall retain five percent (5%) of the amount of each estimate/pay request until the final completion and acceptance of all work covered by this contract: The Owner will follow the Prompt Pay Act (T.C.A. § 66-34-101, et. seq.). Any project where the prime construction contract exceeds \$500,000, it is mandatory that the Owner place the retainage into a separate, interest-bearing escrow account.
14. Each proposal must be accompanied by Certification of Contractor Regarding Iran Divestment Act, Certification of Contractor Regarding Equal Employment Opportunity (Title VI of the Civil Rights act), Drug-Free Workplace Affidavit, Statement of Compliance Certificate - Illegal Immigrants, and Contractors Experience form. All the Certifications must be fully completed and executed with the Request for Proposals. See attached forms.

Conceptual Timeline

Award Proposal – May 12, 2026 by City Council

Notice of Award – May 13, 2026 by City

Notice to Proceed – TBD (After the approval of the Pre-engineered Metal Building Shop Drawings)

Final Completion Date – TBD (After the approval of the Pre-engineered Metal Building Shop Drawings)

IRAN DIVESTMENT ACT

In compliance with the Iran Divestment Act (State of Tennessee 2016, Public Chapter No. 817), which became effective on July 1, 2016, certification is required of all contractors on contracts over \$1,000.

By submission of this proposal, each contractor and each person signing on behalf of any contractor certifies, and in the case of a joint proposal each party hereto certifies as to its own organization, under penalty of perjury, that to the best of its knowledge and belief that each contractor is not on the list created pursuant to T.C.A. § 12-12-106.

I affirm, under the penalties of perjury, this statement to be true and correct.

Date

Signature of Contractor

Company

A proposal shall not be considered for award nor shall any award be made where the foregoing certification has not been complied with; provided, however, that if in any case the contractor cannot make the foregoing certification, the contractor shall so state and shall furnish with the proposal a signed statement which sets forth in detail the reasons therefor. The City of Crossville may award a proposal to a contractor who cannot make the certification, on a case-by-case basis, if:

- (1) The investment activities in Iran were made before July 1, 2016, the investment activities in Iran have not been expanded or renewed on or after July 1, 2016, and the person has adopted, publicized, and is implementing a formal plan to cease the investment activities in Iran and to refrain from engaging in any new investments in Iran; or
- (2) The City of Crossville makes a determination that the goods or services are necessary for the City of Crossville to perform its functions and that, absent such an exemption, the political subdivision will be unable to obtain the goods or services for which the contract is offered. Such determination shall be made in writing and shall be a public document.

PUBLIC NOTICE

TITLE VI OF THE 1964 CIVIL RIGHTS ACT

“No person in the United States shall, on the ground of race, color or national origin, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving federal financial assistance.”

The City of Crossville provides benefits and services such as police protection, fire protection, water service, sewer service, sanitation service, infrastructure needs, and other related municipal services. The City also provides funds to certain non-profit organizations.

Anyone who believes that an agency or local government receiving the federal funding mentioned above has discriminated against someone on the basis of race, color or national origin has a right to file a complaint within 180 days of the alleged discrimination.

Leah Crockett, Human Resources Administrator
Title VI Coordinator

Please sign and return to the City of Crossville verifying that your company is in compliance with the above Title VI, 1964 Civil Rights Act.

Authorized Signature

Company

Print Name

Please return to: City of Crossville
 392 N. Main St.
 Crossville, TN 38555

DRUG-FREE WORKPLACE AFFIDAVIT

STATE OF _____

COUNTY OF _____

The undersigned, principal officer of _____, an employer of five (5) or more employees contracting with

_____ government to provide construction services, hereby states under oath as follows:

1. The undersigned is a principal officer of _____ (hereinafter referred to as the "Company"), and is duly authorized to execute this Affidavit on behalf of the Company.
2. The Company submits this Affidavit pursuant to T.C.A. § 50-9-113, which requires each employer with no less than five (5) employees receiving pay who contracts with the state or any local government to provide construction services to submit an affidavit stating that such employer has a drug-free workplace program that complies with Title 50, Chapter 9, of the *Tennessee Code Annotated*.
3. The Company is in compliance with T.C.A. § 50-9-113.

Further affiant saith not.

Principal Officer

STATE OF _____ COUNTY OF _____

Before me personally appeared _____, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that such person executed the foregoing affidavit for the purposes therein contained.

Witness my hand and seal at office this _____ day of _____, 20__.

Notary Public

My commission expires: _____

CONTRACTOR'S EXPERIENCE

Previous Experience.

List similar projects completed in the past ten years, a **minimum of three (3) projects**, with the following information.

Project Name: _____

Location: _____

Owner's Name: _____

Address: _____

Telephone: _____

Email: _____

Contract Date: _____

Type of Work: _____

Status: _____

Cost of Work: _____

Additional Comments if needed: _____

Make additional copies of this sheet as needed for the additional projects.

Minimum Standards for Addition to Fire Station 1

Apparatus Bay with equipment room– Pre-engineered building being approximately 58 feet wide by 60 feet deep with a minimum 18-foot exterior wall height.

Truck Bay – Pre-engineered building being approximately 58 feet wide by 33.5 feet deep with a minimum 16- foot exterior wall height, and a single sloped roof

Interconnecting Hallway – Approximately 10 feet wide by 52.5 feet deep, hallway that will interconnect existing building with Apparatus Bay and Truck Bay. Pre-engineered building or noncombustible construction.

See attached Concept Plans for proposed building layout, building elevations, and Site Plans for this project. Also attached is a No Review Letter from the State Fire Marshall's Office based upon Bouton Engineering's plan which is attached.

Concept Drawings are the basis for this RFP. Contractor to provide design build services including architectural, structural, electrical, plumbing, mechanical, and pre-engineered metal building plans for review and approval by the city.

General Building Requirements:

Construction to meet or exceed building code requirements for City of Crossville, Tennessee.
<https://crossvilletn.gov/department/codes-enforcement/>

Demolition of the existing site improvements to be done by the owner.

Contractor responsible for the proposed site improvements shown on the site plan after the demolition by the owner. Contractor responsible for excavation, drainage, backfilling, and grading the site. Contractor to seed and mulch open areas after stabilizing the site.

Finish Floor levels to be multi leveled to match existing floor levels in the existing building. Concrete walls and piers to be utilized for the grade differences. See Concept drawings.

Pre-engineered Metal Building Construction for all exterior walls. Primary-Frame Type: Rigid Clear Span: Solid-member, structural-framing system. No interior columns in apparatus bay or truck bay areas. Secondary-Frame Type: Manufacturer's standard purlins and joists and flush-framed girts. Portal Frames to be utilized. Shop drawings to be approved by the city.

Minimum wall sheeting to be 26 gauge, and a minimum roof sheeting to be 24 gauge with a 30-year warranty.

Colors for the metal siding, roof, and trim to be determined.

Standing seam roof.

Roof areas to have a minimum 2:12 pitch.

Insulation – The proposed building including the insulation, windows, doors, etc. to meet or exceed the International Energy Conservation Code (IECC), 2018 Edition

Metal Buildings

Walls - R13+R13Continuous

Ceiling – R19 + R11linear

Stud framed wall

Roof – R38

Wall – R13 +R3.8 continuous or R20

Floors to be have an epoxy/urethane flooring. TNRMEC Co., Inc or approved equal. Floor Color – 17SF Safety Red. Flooring to be prepped, repaired, primed, and installed as per the manufactory's recommendations.

3 Hour CMU Fire Wall to meet UL-U904. Location as shown on plans and is not a Fire Barrier Wall. Fire Wall to stop at the bottom of the roof sheathing

Three 36 inches wide exterior doors with proper fire ratings. Exterior doors to have a prefinished aluminum canopy approximately 6 feet by 8 feet over doorway.

All interior doors to be a minimum 36 inches wide, with lever door hardware, and door stops.

Three Overhead Doors for Apparatus Bay, 14' wide x 14' height – Sectional Type Doors

Three Overhead Doors for Truck Bay, 14' wide x 14' height – Sectional Type Doors

Overhead Sectional Doors to be aluminum and glass doors Overhead Door Corp. 521 Series Aluminum Door or approved equal. Aluminum to be powder coated safety red. Electric motor operated with entrapment protection, push button control stations, and radio control operated.

Overhead Doors to have BrinkAlert LED Safety Light System, BrinkAlert Model CDLK5-2 or approved equal. 5-foot height, LED fixture on left side of the interior overhead door, and one on the exterior side of the door on the same side as the interior fixture.

Plymovent Sliding Balancer Track System (SBT) or approved equal exhaust extraction system for the apparatus bay portion of the addition. The system to be fully automatic system, including fan activation and system disconnect from existing vehicle.

3 - 20 Amp heavy duty electric cord reels in the apparatus bay on the driver's side of the overhead doors. Dan Woodard Cord Reel 9383-30706 or approved equal. Contractor to coordinate location and requirements with owner. End of cord to connect to a Kussmaul Super Auto Eject plug.

Trench drains to be Zurn Model# Z882-DGE-E1 drain or approved equal.

Interior Trench Drains to have Zurn Z887-12-HD-DGE-Y-E4 catch basin with sediment bucket or approved equal attached to the end of drain with P-Trap and Trap Guard in Catch Basin.

Concrete Stem Walls and Retaining Walls to be waterproofed with W.R. Grace & Co "Bituthene 3000" system or approved equal. French drain system along the back side and bottom of the concrete stem wall and retaining wall with 4-inch perforated piping encased with 12" of clean stone with filter fabric.

Retaining walls to have 3-inch diameter weep holes at 48 inches on centers.

All trenches for pipes and conduits across the parking area to be backfilled with gravel.

42-inch-tall safety rail between the apparatus bay and truck bay. Top rail to be 42" above finish floor. Must not allow a 4-inch sphere to pass through the pickets, rails, post, etc. Contractor to provide shop drawings for the safety rail for approval by the city. Safety rail may have vertical pickets, horizontal rails or grid.

Contractor responsible for pipe bollards as shown on the concept plans. (Min. 4" steel pipe filled with concrete, 42" high, embedded 18" into 18" diameter concrete base, 60" length of pipe, painted yellow)

Electric to run from existing electrical service to a new subpanel in the addition. See Site plans to see location of existing electrical service.

Natural Gas to run from existing gas service to the addition. See Site plans to see location of existing gas service.

Water service from existing water line (2-inch copper line) in existing apparatus bay.

The building design and construction shall be in strict accordance with the latest applicable codes and standards.

City to review and approve all drawings and shop drawings, and review product information on equipment and accessories and approve.

The exact location of all light fixtures, electrical receptacles and switches, plumbing fixtures, conduit drops for cameras and ethernet data to be coordinated with the owner's representative.

Additive Alternative #1 – Radiant Floor Heat System

Radiant Floor System - Add 2" continuous Board insulation in bay floor and extend down to bottom of turn down slab, 15 mil vapor barrier, 6 x 6 Mesh / W2.9x W2.9 WWF for securing radiant floor tubing, 2" mud slab over radiant floor tubing, concrete slab floor thickness minimum 6 inches (4000 psi) concrete with reinforcement 6 x 6 Mesh / W2.9x W2.9 WWF and 4" crushed stone

Radiant flooring system, Rehau or approved equal Radiant Floor Heating System with manifold, radiant floor piping, and accessories. Natural Gas Boiler for radiant floor system being Lochinvar or approved equal.

Add Mechanical Room.

Delete Natural Gas Heaters from Base Bid.

EXTERIOR FINISHES

- Metal Wall Panels and Brick as shown on building elevations
- Galvanized Hat Channel (7/8" min.) to be used to fur out masonry wall before installing Metal Wall Panels
- Exterior of Masonry wall to be waterproofed with an approved waterproofing system before installing Hat Channel and Metal Wall Panels
- Standing Seam Roof
- Prefinished Aluminum Canopy over exterior doors. Owner to pick out color.

APPARTUS & TRUCK BAY FINISHES

- Apparatus Bay & Truck Bay to be mechanically ventilated to meet Chapter 4 of the 2018 International Mechanical Code. Standby mode (minimum continuous rate) – 0.05 cfm per sq. ft. & Full capacity (when activated) not less than 0.75 cfm per sq.ft.
- Two 8 ft Powerfoil industrial comfort fan by Big Ass Fans.
 - 200-277 V
 - 1 HP
 - Extension to meet minimum clearance requirements
 - Standard Color
 - Standard Controller with BAFCon upgrade
- A minimum of three Natural Gas fired unit heaters located on opposite sides of the building sized to heat the area
- Floor – Epoxy
- Floor trench drains as shown on concept drawings
- Metal Liner Panels on the interior side of the exterior walls to roof.
- Columns and beams to be painted. Color to be selected by owner.
- Exposed Masonry walls to be painted
- Alternative 1 – Radiant Floor Heat

INTERCONNECTING HALLWAY FINISHES

- Metal Liner Panels on the interior walls to roof.
- Columns and beams to be painted. Color to be selected by owner.
- Exposed Masonry walls to be painted
- Floor – Epoxy
- Alternative 1 – Radiant Floor Heat

EQUIPMENT ROOM & MECHANICAL Room (Alternative 1) FINISHES

- 3 Hour Fire Barrier Wall – Finish wall based upon type of fire barrier wall selected
- Walls painted and color to be selected by owner.
- Ceiling – 3 Hour Horizontal Assembly - Finish ceiling based upon type of horizontal assembly selected - Note that the 3 Hour Fire Barrier Wall may extend up to the bottom of the roof sheathing, then the 3 Hour Horizontal Assembly would not be required
- Exposed Masonry walls to be painted
- Floor – Epoxy
- Alternative 1 – Radiant Floor Heat

ELECTRICAL

- Electrical design and installation shall be in strict accordance with the latest applicable codes and standards
- Electric from existing electrical service to a subpanel in addition
- One dedicated conduit for fiber internet into the proposed addition – 1” Conduit
- One spare Communications Conduit into the proposed addition – 1” Conduit
- High Bay dimmable LED fixtures for the Apparatus & Truck Bay on its own circuit and light switch – White light color – location and configuration to be determined
- Additional LED lights – RGBW – Red Color – for the Apparatus & Truck Bay on its own circuit and light switch/controller or approved equal – location and configuration to be determined
- All interior lights in all rooms except Mechanical Room to have LED lights with one set of white color lights and another set of RGBW lights - red. Each set of lights to work independently of each other.
- Fifteen (15) exterior wall mounted LED lights with photocells along the front and side walls. 70W - See Concept drawings
- Exit lighting and Emergency lighting
- Switches and receptacles to be located in the addition as per code and as per locations shown on concept plans. Locations to be coordinated with owner.
- Stub out conduits (2) at the building corners next to Police Department parking area for parking lot light poles
- Drops (2) for Ethernet – Conduits
- Conduits and boxes for Security Cameras
- Drops for Security Key Pads at Exterior door
- Network cabling and low voltage wiring for security by others.
- Contractor responsible for all the conduits and boxes for the network and low voltage wiring

PLUMBING

- Freezeless/Frostproof wall hydrants - Water Spigots
- Additive Alternative 1 – Water Service for Boiler System

CONCRETE FLAT WORK

- Concrete slab floor thickness minimum 6 inches (4000 psi) concrete with reinforcement 6 x 6 Mesh / W2.9x W2.9 WWF, 10 mil vapor barrier, and 4” crushed stone.
- Concrete Apron – thickness minimum 6 inches (4000 psi) concrete with reinforcement 6 x 6 W2.9 WWF barrier, and 6” crushed stone.
- Concrete Sidewalks – thickness minimum 4 inches (4000 psi) concrete with reinforcement 6 x 6 W2.9 WWF barrier, and 4” crushed stone.
- Concrete Drive Entrance on Henry Street – thickness minimum 8 inches (4000 psi) concrete with reinforcement 6 x 6 W2.9 WWF barrier, and 6” crushed stone

ASPHALT – Repair and Placement

- Minimum thickness of base stone – 6”
- Minimum thickness of Asphalt Binder – 3” – TDOT 308C
- Minimum thickness of Asphalt Surface – 1.5” TDOT 411E

SECURITY / ACCESS CONTROLS: DATA/ETHERNET

- Contractor to coordinate with city’s security system, and IT/Data contractors for security systems and cameras.
- Contractor to provide drops, conduit and box, in walls and floor for ethernet. See Concept drawings for locations
- Network cabling and low voltage wiring for security by others
- Contractor responsible for all the conduits and boxes for the network and low voltage wiring

CONTIGENCY

\$30,000.00 allowance for construction contingences

All allowances show in the minimum requirements to be included in the lump sum base bid. A final change order will be utilized to reconcile any differences between the allowances and the final costs.

The Contractor to provide a list of allowances if used other than the ones specified in the minimum requirements. The contractor's allowances to be detailed out and included in the RFP.

TEMPORARY FACILITIES

The Contractor shall provide a temporary field office, sanitation facilities and equipment required during the duration of the project. The Contractor shall provide a dumpster as required for the project. The Contractor shall provide and be responsible for temporary electrical, gas and water services while the work is in progress.

PERMITS / TAP FEES

The Contractor is responsible for all permit fees except the building permit fee which will be waived for this project.

SPECIAL CONDITIONS

Contractor to coordinate activities on the project site with the Fire and Police Department to minimize disruptions to services.

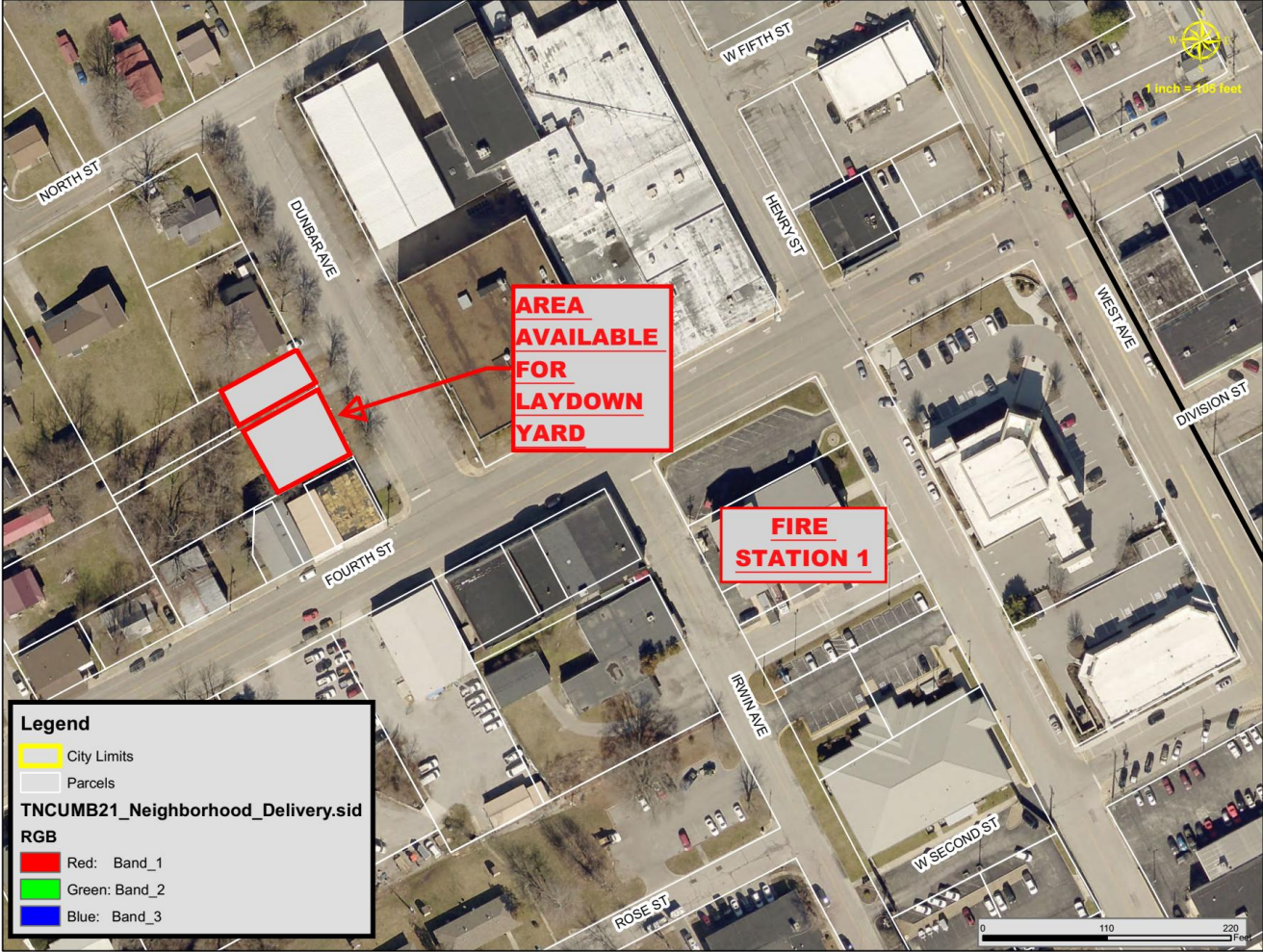
Contractor will be limited on use of the Police Department Parking Lot on Court days. See the below schedule for the Court dates in 2026.

Crossville City Court 2026

| JANUARY | | | | | | | FEBRUARY | | | | | | | MARCH | | | | | | | APRIL | | | | | | | |
|-----------|----|----|----|----|----|----|----------|----|----|----|----|----|----|----------|----|----|----|----|----|----|----------|----|----|----|----|----|----|---|
| S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | |
| | | | | 1 | 2 | 3 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | | | | 1 | 2 | 3 | 4 | |
| 4 | 5 | 6 | 7 | 8 | 9 | 10 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | |
| 11 | 12 | 13 | 14 | 15 | 16 | 17 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | |
| 18 | 19 | 20 | 21 | 22 | 23 | 24 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | |
| 25 | 26 | 27 | 28 | 29 | 30 | 31 | | | | | | | | 29 | 30 | 31 | | | | | 26 | 27 | 28 | 29 | 30 | | | |
| MAY | | | | | | | JUNE | | | | | | | JULY | | | | | | | AUGUST | | | | | | | |
| S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | |
| | | | | | 1 | 2 | | 1 | 2 | 3 | 4 | 5 | 6 | | | | 1 | 2 | 3 | 4 | | | | | | | 1 | |
| 3 | 4 | 5 | 6 | 7 | 8 | 9 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | |
| 10 | 11 | 12 | 13 | 14 | 15 | 16 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | |
| 17 | 18 | 19 | 20 | 21 | 22 | 23 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | |
| 24 | 25 | 26 | 27 | 28 | 29 | 30 | 28 | 29 | 30 | | | | | 26 | 27 | 28 | 29 | 30 | 31 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | | |
| 31 | | | | | | | | | | | | | | | | | | | | | 30 | 31 | | | | | | |
| SEPTEMBER | | | | | | | OCTOBER | | | | | | | NOVEMBER | | | | | | | DECEMBER | | | | | | | |
| S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | S | M | T | W | TH | F | SA | |
| | | | 1 | 2 | 3 | 4 | 5 | | | | | 1 | 2 | 3 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | | | 1 | 2 | 3 | 4 | 5 |
| 6 | 7 | 8 | 9 | 10 | 11 | 12 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | |
| 13 | 14 | 15 | 16 | 17 | 18 | 19 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | |
| 20 | 21 | 22 | 23 | 24 | 25 | 26 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | |
| 27 | 28 | 29 | 30 | | | | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 29 | 30 | | | | | | 27 | 28 | 29 | 30 | 31 | | | |

THE YELLOW DATES ARE DAY COURT 830am THE RED DATES ARE NIGHT COURT 6:00PM

City will make available property owned by the city on Dunbar Avenue for a laydown yard if needed. See attached sketch for the location. Contractor is not required to use this area and may make other arrangements for a lay down yard.



EROSION CONTROL

Contractor is responsible for erosion and sediment control after demolition on the site. Contractor to permanently stabilize the site. Contractor is responsible for adding top soil, seeding and mulching to establish grass cover in .

ASSEESIBILITY

Maneuvering clearances for doors to meet ADA requirements: These spaces are needed for individuals using mobility aids to approach, open, and pass through doorways. They are typically required on both sides of doors, except for those used only in one direction. The size and configuration of these clearances vary based on the approach direction and if the door has a closer or latch.

Door hardware: Hardware must be usable with one hand without needing tight grasping, pinching, or wrist twisting. Acceptable types include lever-operated and push-type. Round doorknobs are not compliant. Hardware must be between 34 inches and 48 inches above the floor.

Thresholds: New construction thresholds can be a maximum of 1/2 inch high. If over 1/4 inch high, the edge must be beveled with a slope no steeper than 1:2.

Emergency exiting alarm and signage: All emergency exiting alarm and signage to comply with federal, state and county codes for accessibility.

Emergency warning systems shall comply with ADA requirements for the hearing impaired. Visual warning strobe lights to be designed to have a frequency of not more than 60 flashes per minute.

General contractor shall allow for applied finish dimensions in addition to standard construction tolerances in achieving all accessibility clearances per ADA guidelines.

General Contractor to meet or exceed the standards in the 2010 ADA Standards for Accessible Design.

WARRANTIES AND RECORDS

The general contractor shall guarantee the work for one (1) year after substantial completion of the work.

The general contractor shall perform a one (1) year warranty walk-through/inspection with the owner's representative upon request.

The contractor shall leave a copy of redlined as-built drawings for the owner/owner's representative noting all revisions of work upon completion of construction.

Upon completion of the work and before final payment is made, the contractor shall secure and deliver to the owner all guarantees and/or warranties on all equipment supplied and/or installed by the contractor and his/her sub-contractors, and all operations/maintenance materials.

GENERAL CODES/ STANDARDS

Give all notices and comply with all national, state and local laws, ordinances, codes, rules and regulations bearing on the conduct of the work.

If the contractor knowingly performs any work which is contrary to such laws, ordinances, codes, rules and regulations, he/she shall promptly make changes as required to comply therewith and bear all costs arising therefrom.

The contractor shall file, obtain and pay fees for building department and all other agency approvals and permits, controlled inspections and final write-offs for project completion.

In case of conflicts in the requirements of authorities having jurisdiction, the most restrictive requirements shall govern.

Loads and code restrictions for all design considerations shall conform to local, state and all governing codes.

The contractor shall arrange for all inspections necessary to obtain certificate of occupancy.

The contractor shall be responsible for adequately bracing and protecting work during construction against damage, breakage, collapse, distortion, and/or misalignment in accordance with applicable codes, standards and generally accepted best practice.

The contractor shall provide back flow devices as required by local, state and federal codes.

CONTRACTOR STANDARD OF CARE

Contractors are to exercise proper precautions to verify all existing conditions and layout of work.

Contractors are responsible for any error resulting from failure to exercise such precautions. any such error will not be considered as a basis for a change order or extra compensation.

General contractor is responsible for layout of all work and is responsible for all lines and measurements (within reasonable tolerances) of the building, utilities and other work executed under this contract.) All contractors shall verify dimensions as related to their scope of work prior to commencing construction or ordering materials, equipment, etc.

QUALITY OF WORK

General contractor to ensure that construction and finishes are clean, true and free of irregularities. Do not proceed with work until unsatisfactory conditions have been corrected. Should a contractor work in sequence after another contractor (for example, a drywall crew begins work after a framing crew)- commencement of work shall indicate the later contractor's acceptance of predecessor's work as satisfactory.

Paint and other finishes are to be applied to create a solid, acceptable finish. all finishes shall adhere to a consistent professional quality.

GENERAL NOTES

The general contractor is responsible for coordination, providing and maintaining site sanitary facilities, temporary utilities, construction debris collection and removal of dumpsters, as coordinated with the owner.

The general contractor and subcontractors are responsible for providing all labor, tools, equipment, including power lulls/lifts, scaffolding, materials, etc. necessary to unload and install their related scope of work items.

Certificates of insurance for each subtrade and vendor, etc. shall be kept on file by general contractor and presented to owner.

All federal, OSHO, state and local safety standards are to be maintained by the general contractor and all subcontractors and sub-subcontractors until final completion and certificate of occupancy issued by County.

CONTRACTOR REQUIREMENTS

The Contractor shall provide all architectural and engineering services required to obtain a building permit and to clearly indicate the scope of work to the Owner. The Contractor understands that all Civil Site Design will be completed by the City of Crossville. City to review all plans and shop drawings.

Qualifications: The Contractor shall have experience in the design and construction of similar facilities, and shall meet the following as a minimum:

- A) Business license for the City of Crossville and/or Cumberland County.
- B) Contractor to utilize an architectural design service with at least (1) TN licensed professional(s).
- C) A General Contractor in the State of TN.
- D) Ability to provide a performance and payment bond for entirety of the project if awarded the project.

The Contractor shall carry all necessary workman's compensation, builder's risk, and following liability insurance with the below minimum limits:

| | |
|------------------------|--------------|
| General liability: | \$ 2,000,000 |
| Automobile Liability: | \$ 1,000,000 |
| Excess Liability: | \$ 2,000,000 |
| Worker's Compensation: | \$ 1,000,000 |

The Contractor shall provide an onsite Field Manager, Project Manager, and office support as required to manage the project.

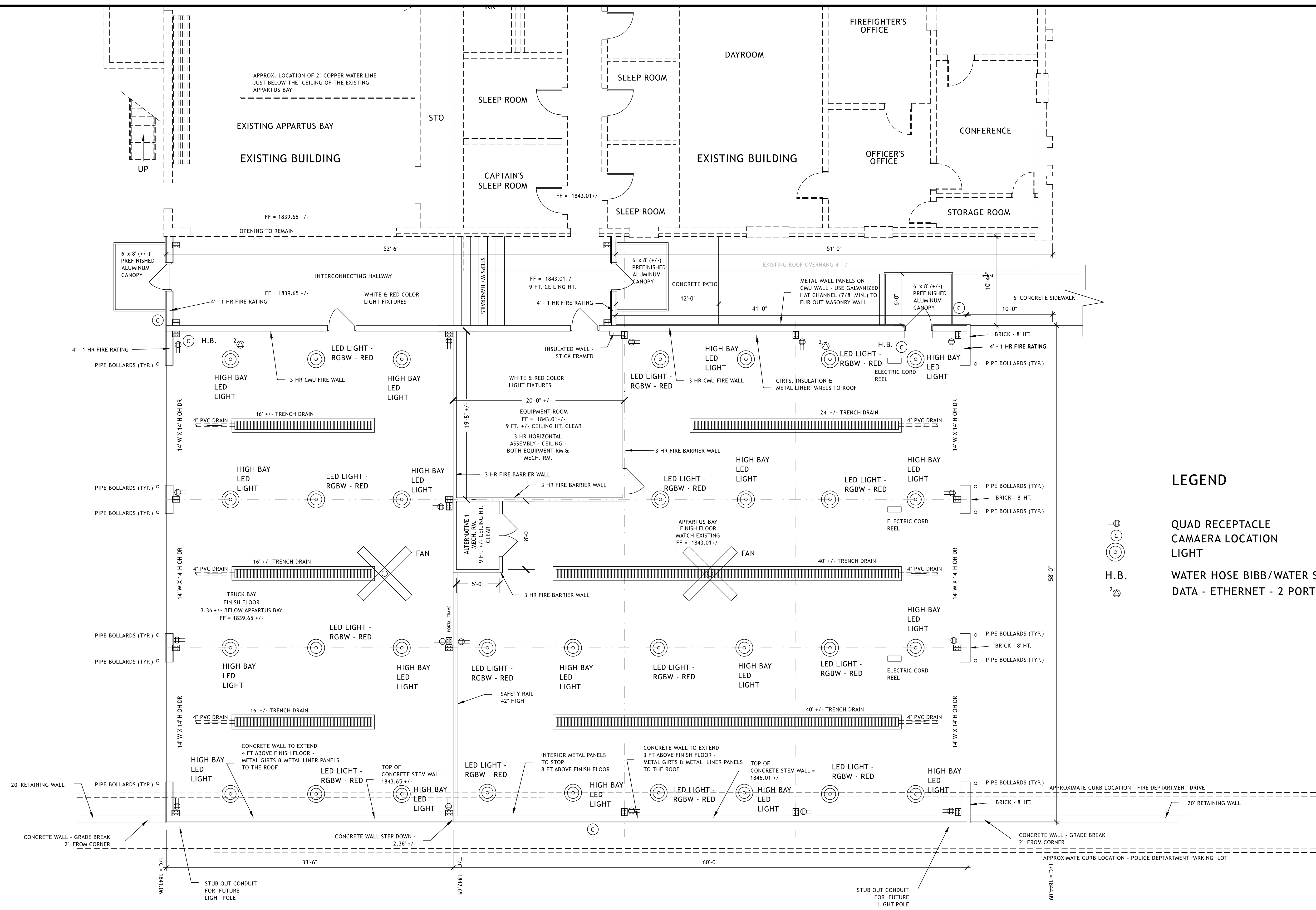
The Contractor shall prepare and update a monthly construction schedule.

The Contractor shall provide daily cleanup as needed throughout the duration of the project and final cleanup.

The Contractor shall coordinate all project meetings, processing of subcontractor's submittals, contract close-out and facility startup.

The Contractor to provide a project schedule if awarded the RFP.

Completion date no more than 300 days after shop drawings are approved for the pre-engineered metal building.

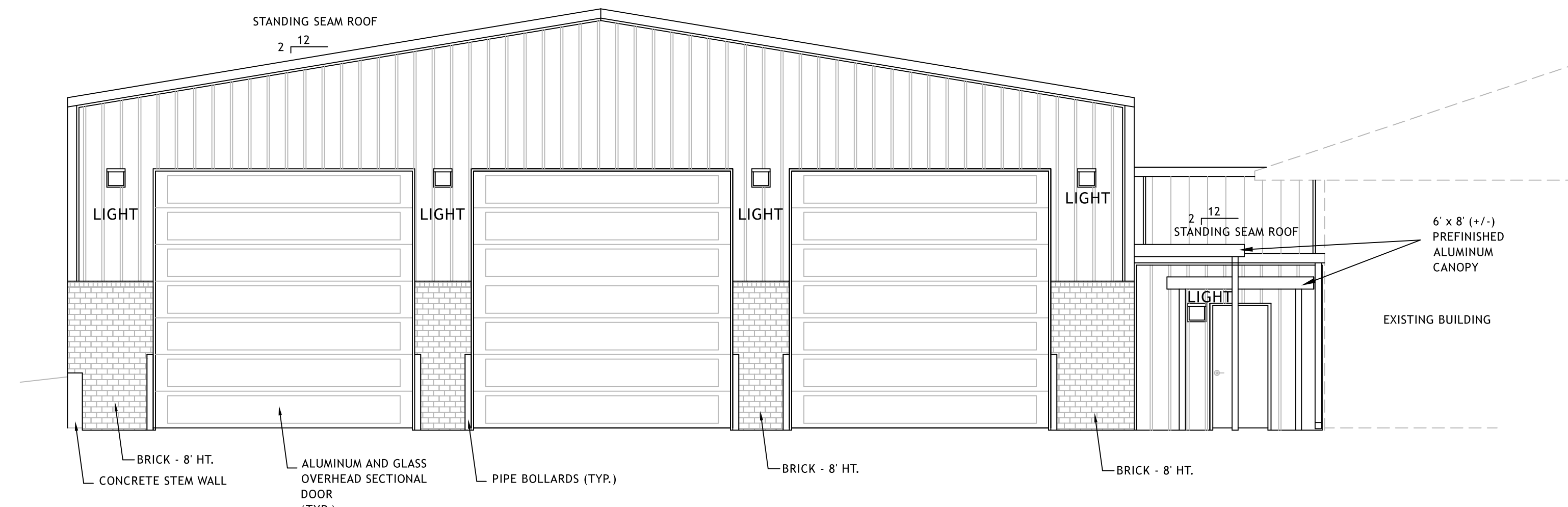


- LEGEND**
- QUAD RECEPTACLE
 - CAMERA LOCATION
 - LIGHT
 - H.B. WATER HOSE BIBB/WATER SPIGOT
 - DATA - ETHERNET - 2 PORT

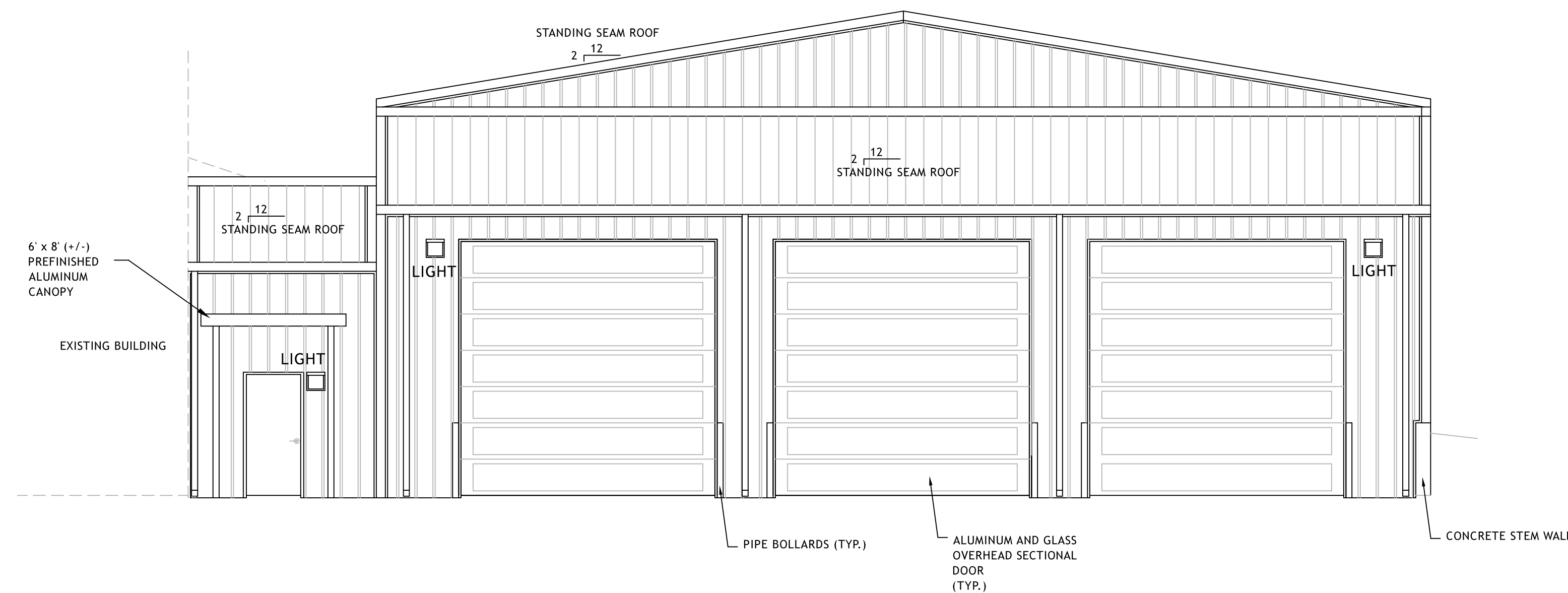
CONCEPT PLAN - FLOOR PLAN - FIRE STATION 1 ADDITION

SCALE: 3/16" = 1'-0"

SEE MINIMUM REQUIREMENTS IN RFP FOR ADDITIONAL INFORMATION



FRONT VIEW - HENRY STREET

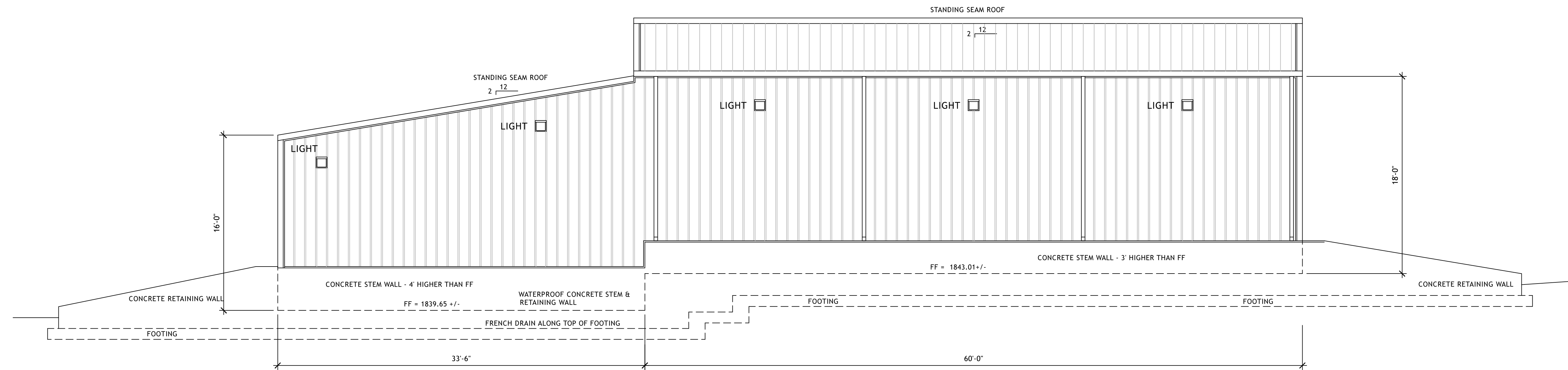


REAR VIEW - IRWIN AVENUE

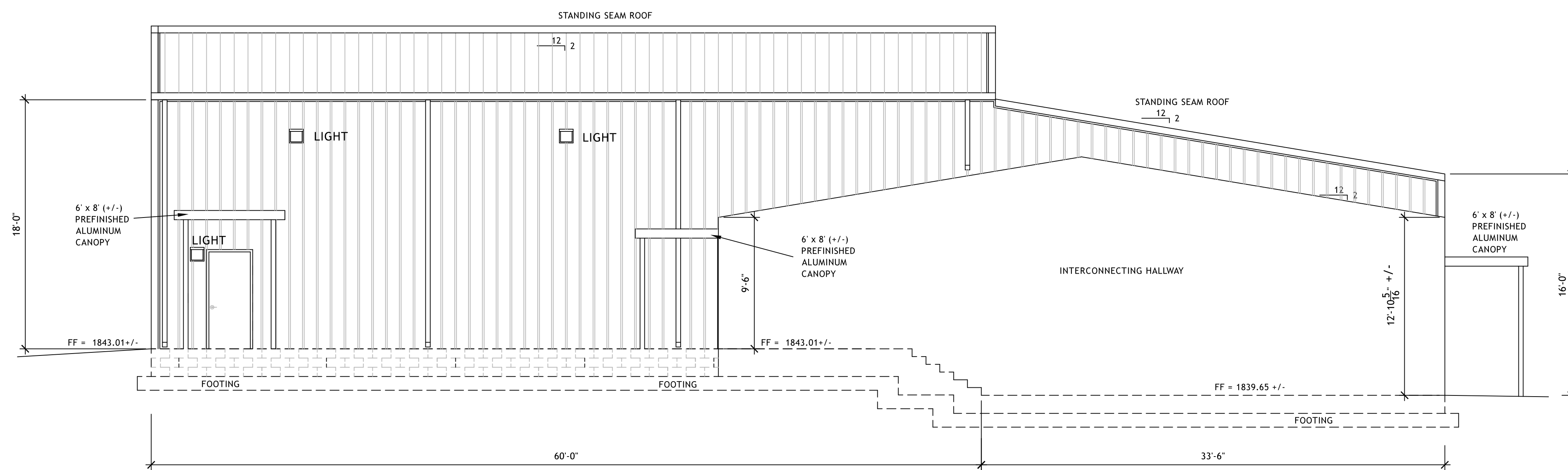
CONCEPT PLAN - FRONT & REAR BUILDING ELEVATIONS - FIRE STATION 1 ADDITION

SCALE: 3/16" = 1'-0"

SEE MINIMUM REQUIREMENTS IN RFP FOR ADDITIONAL INFORMATION



LEFT SIDE VIEW

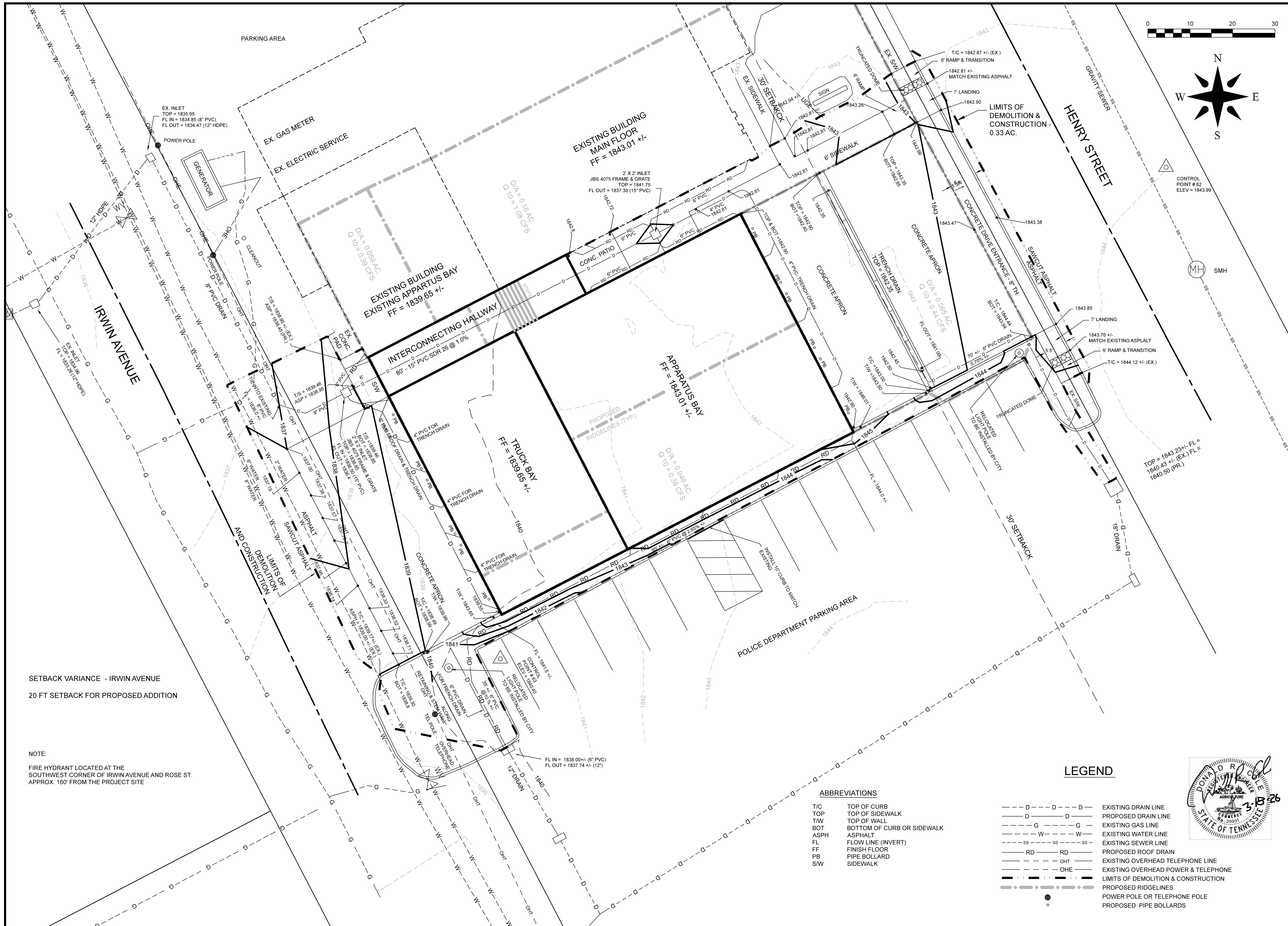


RIGHT SIDE VIEW

CONCEPT PLAN -SIDE BUILDING ELEVATIONS - FIRE STATION 1 ADDITION

SCALE: 3/16" = 1'-0"

SEE MINIMUM REQUIREMENTS IN RFP FOR ADDITIONAL INFORMATION



**CITY OF CROSSVILLE
ENGINEERING DEPARTMENT**
392 N MAIN ST
CROSSVILLE, TN 38655
PHONE: (931) 484-5113
FAX: (931) 484-7713

PROPOSED GRADING PLAN
CITY OF CROSSVILLE FIRE DEPARTMENT
FIRE STATION NO. 1 ADDITION

SETBACK VARIANCE - IRWIN AVENUE
20 FT SETBACK FOR PROPOSED ADDITION

NOTE:
FIRE HYDRANT LOCATED AT THE
SOUTHWEST CORNER OF IRWIN AVENUE AND ROSE ST.
APPROX. 160' FROM THE PROJECT SITE

ABBREVIATIONS

- T/C TOP OF CURB
- TOP TOP OF SIDEWALK
- TW TOP OF WALL
- BOT BOTTOM OF CURB OR SIDEWALK
- ASPH ASPHALT
- FL FLOW LINE (INVERT)
- FF FINISH FLOOR
- PB PIPE BOLLARD
- SW SIDEWALK

LEGEND

- - - - - D - - - - - EXISTING DRAIN LINE
- - - - - D - - - - - PROPOSED DRAIN LINE
- - - - - G - - - - - EXISTING GAS LINE
- - - - - W - - - - - EXISTING WATER LINE
- - - - - S - - - - - EXISTING SEWER LINE
- - - - - RD - - - - - PROPOSED ROOF DRAIN
- - - - - OHT - - - - - EXISTING OVERHEAD TELEPHONE LINE
- - - - - OHE - - - - - EXISTING OVERHEAD POWER & TELEPHONE
- - - - - L - - - - - LIMITS OF DEMOLITION & CONSTRUCTION
- - - - - R - - - - - PROPOSED RIDGELINES
- ○ ○ ○ ○ POWER POLE OR TELEPHONE POLE
- ○ ○ ○ ○ PROPOSED PIPE BOLLARDS



FILE NAME:
SITE PLAN
DRAWN BY: DRC
CHECKED BY: TB
SCALE: 1" = 10' H
DATE: 2/2026
PROJECT NO.: 10136

SHEET NO.
4 OF 4

SHEET TITLE
PROPOSED
GRADING
PLAN



SFMO Review Not Required

Date: 3/2/2026

To: Gary Bouton
Bouton Engineering
420 N Washington Suite 7
Cookeville, TN 38501

RE: Review and Approval Not Required

Crossville Fire Station 1 Addition
141 Henry Street
Crossville, TN 38555

TFM # 21745
Project # 2026-02-27-01
County: Cumberland

Dear Gary Bouton,

The above referenced project does not require the submission of plans for review and approval by the State Fire Marshal's Office because this project does not qualify as one of the occupancies required to be reviewed in accordance with Rule 0780-02-03. This determination was based on the information submitted to the plans submittal portal on 2/27/2026.

The information has not been reviewed for codes compliance. A No Review Letter is written assurance that a project is not required to have plans submitted to the State Fire Marshal's Office for approval and serves no other purpose.

Subsequent alterations to the plans submitted may invalidate this letter and result in the need for plans to be submitted and approved prior to work being performed. If you have any further questions, please contact me at 615 313-4724.

Sincerely,

A handwritten signature in black ink that reads 'Michelle Dennis'. The signature is written in a cursive style.

Michelle Dennis, Plans Examiner II
Codes Enforcement Section

cc: Robert Elkins, DSFM

Encl: No Review Letter and Plans

2/13/2026

Fire Prevention/State Fire Marshall's Office
Codes Enforcement Section
500 James Robertson Pkwy
Nashville, TN 37243-1162

Project Name: Crossville Fire Station 1 Bldg Addition
TFM#: TBD
Project Number: TBD
City: Crossville **County:** Cumberland

To Whom it May Concern,

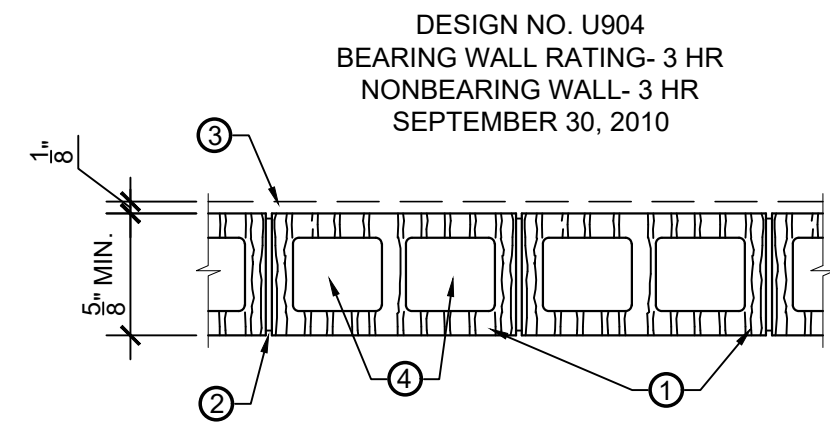
Please review this project we are seeking a No Review Letter if it applies to this project.

Let me know if you have any questions.

Regards,



Gary Bouton, P.E.



- CONCRETE BLOCKS* — VARIOUS DESIGNS. CLASSIFICATION C-3 (3 HR). SEE CONCRETE BLOCKS CATEGORY FOR LIST OF ELIGIBLE MANUFACTURERS.
 - MORTAR — BLOCKS LAID IN FULL BED OF MORTAR. NOM. 3/8 IN. THICK. OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED.
 - PORTLAND CEMENT STUCCO OR GYPSUM PLASTER — ADD 1/2 HR TO CLASSIFICATION IF USED. ATTACHED TO CONCRETE BLOCKS (ITEM 1).
 - LOOSE MASONRY FILL — IF ALL CORE SPACES ARE FILLED WITH LOOSE DRY EXPANDED SLAG, EXPANDED CLAY OR SHALE (ROTARY KILN PROCESS), WATER REPELLANT VERMICULITE MASONRY FILL INSULATION, OR SILICONE TREATED PERLITE LOOSE FILL INSULATION ADD 1 HR TO CLASSIFICATION.
 - FOAMED PLASTIC* — (OPTIONAL-NOT SHOWN) — 1-1/2 IN. THICK MAX. 4 FT. WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM 1). THE DOW CHEMICAL CO — TYPE THERMAX SHEATHING, THERMAX LIGHT DUTY INSULATION, THERMAX HEAVY DUTY INSULATION, THERMAX METAL BUILDING BOARD, THERMAX WHITE FINISH INSULATION, THERMAX CI EXTERIOR INSULATION, THERMAX IH INSULATION, THERMAX PLUS LINER PANEL AND THERMAX HEAVY DUTY PLUS (HDP)
- *BEARING THE UL CLASSIFICATION MARKING.

PROJECT SUMMARY

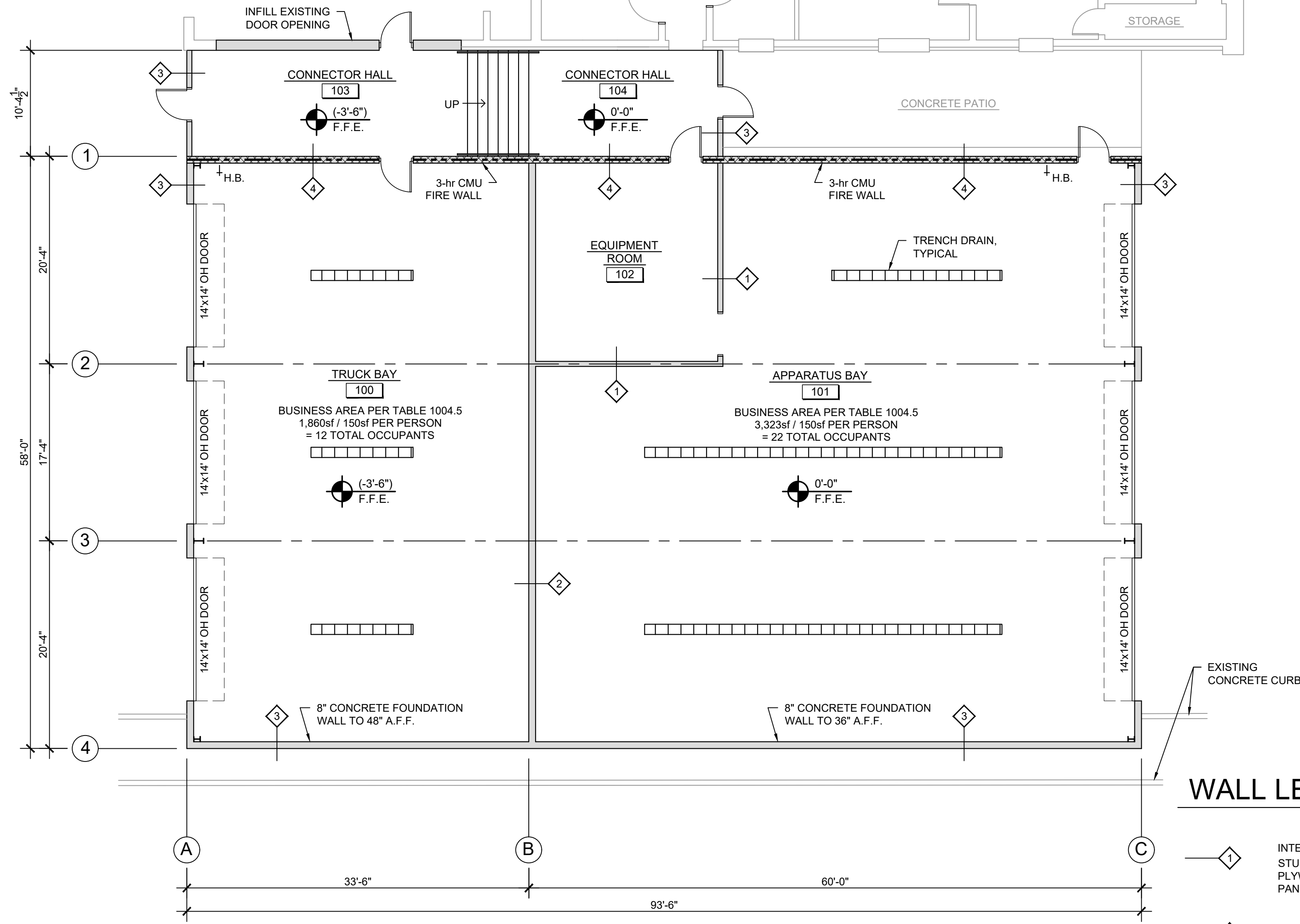
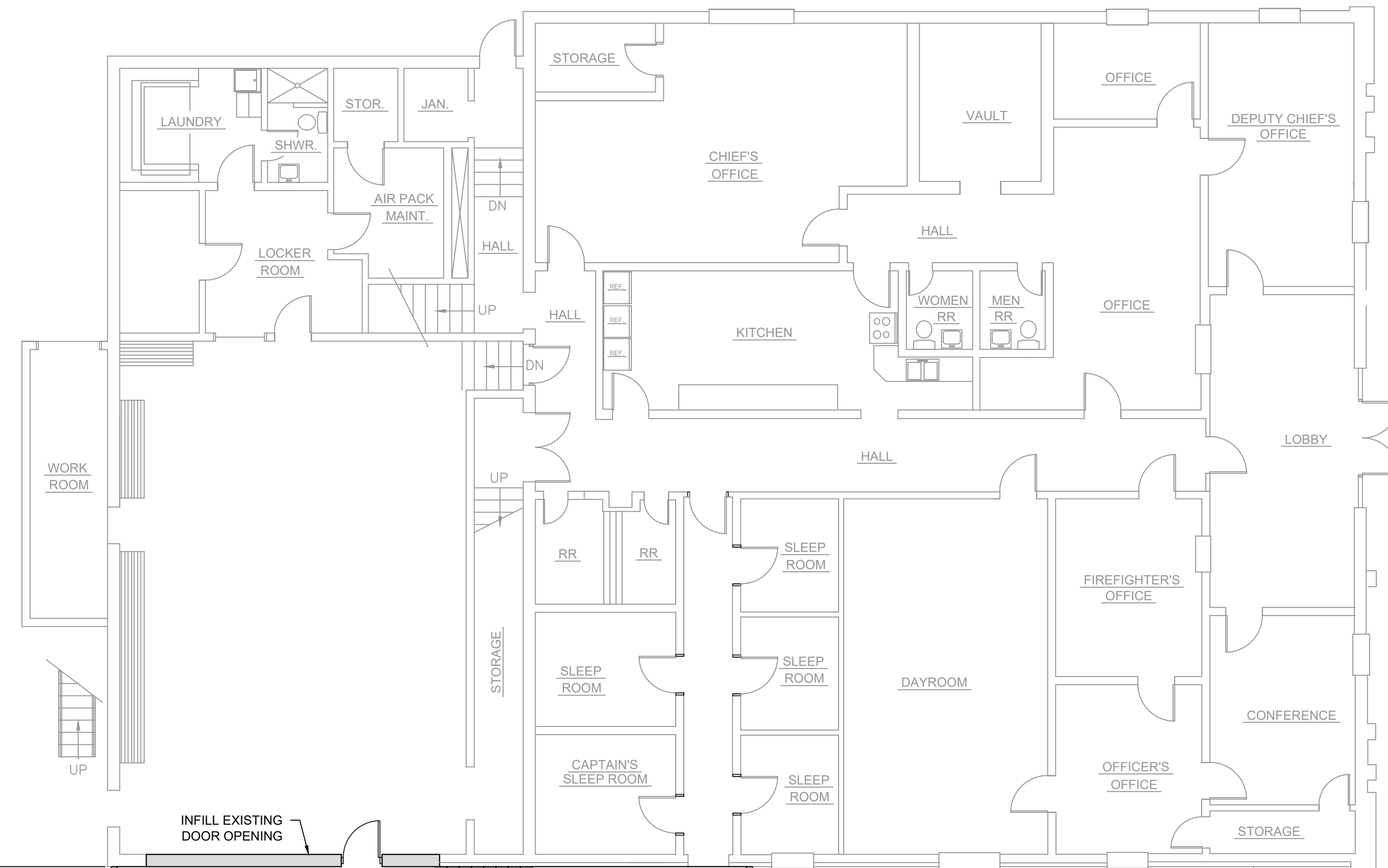
THIS PROJECT INCLUDES A 5,968 SQUARE FOOT ADDITION TO AN EXISTING FIRE RESCUE FACILITY. THE NEW STRUCTURE WILL BE A PRE-ENGINEERED METAL BUILDING TYPE IIB CONSTRUCTION PER THE 2018 INTERNATIONAL BUILDING CODE WITH A 10-4' CONNECTOR. THE NEW FLOOR LEVEL HAS A STEP-DOWN OF APPROXIMATELY 42 INCHES DUE TO A DIFFERENCE IN THE EXISTING FLOOR LEVELS.

THE NEW CONSTRUCTION WILL BE SEPARATED FROM THE EXISTING STRUCTURE WITH A 3-HOUR FIRE WALL. THE NEW STRUCTURE WILL BE USED TO HOUSE FIRE TRUCKS WITH A SEPARATE APPARATUS BAY.

CODE ANALYSIS

| | |
|---------------------------------------------------------|---------------------------------------------|
| BUILDING CODE: | 2021 INTERNATIONAL BUILDING CODE |
| ACCESSIBILITY CODE: | 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN |
| ENERGY CODE: | 2021 INTERNATIONAL ENERGY CONSERVATION CODE |
| FIRE CODE: | 2021 INTERNATIONAL FIRE CODE |
| FUEL GAS CODE: | 2021 INTERNATIONAL FUEL GAS CODE |
| IECC CLIMATE ZONE: | ZONE 4 |
| MECHANICAL CODE: | 2021 INTERNATIONAL MECHANICAL CODE |
| PLUMBING CODE: | 2021 INTERNATIONAL PLUMBING CODE |
| ELECTRICAL CODE: | 2017 NFPA 70 NATIONAL ELECTRICAL CODE |
| LIFE SAFETY CODE: | 2021 NFPA 101 |
| CONSTRUCTION TYPE: | TYPE IIB UNSPRINKLERED UNPROTECTED |
| OCCUPANCY GROUP: | MODERATE-HAZARD STORAGE S-1 |
| MULTIPLE OCCUPANCY SEPARATION REQUIREMENT [TABLE 508.4] | NONE |
| NUMBER OF STORIES ALLOWED [TABLE 504.4]: | 1 |
| NUMBER OF STORIES PROPOSED: | 1 |
| HEIGHT OF BUILDING ALLOWED [TABLE 504.3]: | 40R |
| HEIGHT OF BUILDING PROPOSED: | <40R |
| BUILDING PROPOSED SQUARE FOOTAGE : | New : 5,968sf |
| BUILDING ALLOWABLE SQUARE FOOTAGE [TABLE 506.2]: | S-1 : 9,000sf |

VICINITY MAP

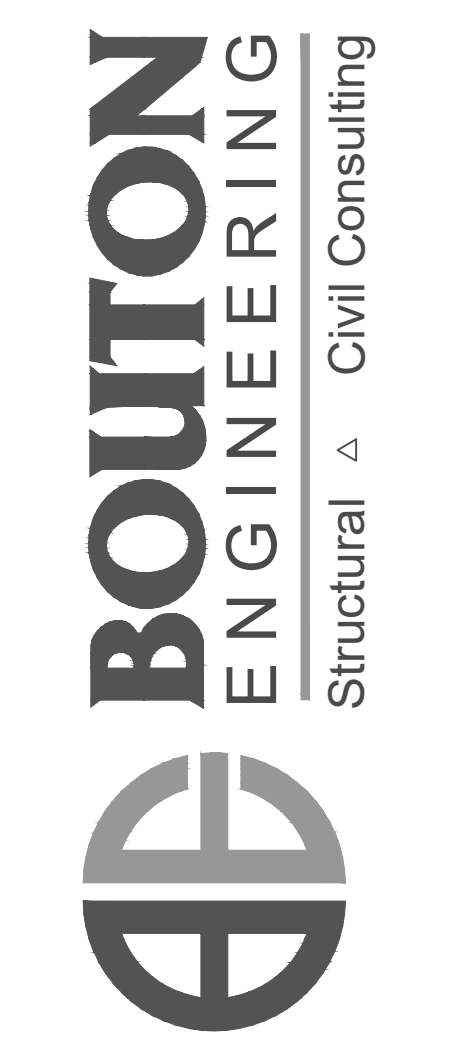


WALL LEGEND

- 1 INTERIOR WALL - 6" METAL STUD WALL w/ STUDS SPACED @ 16" O.C. w/ (1) LAYER 5/8" PLYWOOD EACH SIDE & METAL LINER PANELS
- 2 INTERIOR WALL - METAL WALL GIRTS w/ METAL LINER PANELS EACH SIDE - EXTEND TO ROOF DECK
- 3 EXTERIOR WALL - 8" METAL WALL GIRTS w/ R-19 VINYL FACE BLANKET INSULATION, METAL SIDING EXTERIOR & METAL LINER PANELS INTERIOR TO 8" A.F.F.
- 4 3-HR FIRE WALL - 8" CMU w/ #5 VERTICAL REBAR & CELLS FILLED @ 24" O.C. - SEE UL U904

1 FLOOR PLAN
A-1.0 SCALE: 3/16" = 1'-0"
NORTH

Building Renovation for:
Crossville Fire Rescue Station 1
141 Henry St
Crossville, TN 38555



| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|------|-------------|
| | 1. | | |
| | 2. | | |
| | 3. | | |
| | 4. | | |
| | 5. | | |
| | 6. | | |
| | 7. | | |
| | 8. | | |
| | 9. | | |

A-1.0
SHEET THIS SHEET: FLOOR PLAN
SCALE: AS NOTED
JOB NO. 26-17 DATE: 02.23.2026
DWN BY: GBouton